



MAYOR

Linda Blechinger

CITY ADMINISTRATOR

Alex W. Mitchem

CITY COUNCIL

Peggy J. Langley

Robert L. Vogel III

Bill Ackworth

Jay L. Riemenschneider

PLANNING COMMISSION

Kim Skriba

Sandy Wilson

Carolyn Wade

Kevin Camon

PLANNING COMMISSION

AGENDA

NOVEMBER 17, 2021

6:00 p.m.

CALL TO ORDER

1. APPROVAL OF MINUTES – OCTOBER 20, 2021.

NEW BUSINESS

2. OAR21-01: DOWNTOWN OVERLAY DISTRICT ARCHITECTURAL REVIEW; 1376 3RD AVE; ALTERATIONS TO EXISTING BUILDING FOR PROPOSED GROCERY STORE; APPLICANT: JUST CONSTRUCTION LLC; OWNER: KABIR NURANI.
3. OAR21-02: DOWNTOWN OVERLAY DISTRICT REVIEW; CITY MARKET ADDITION.
4. ANNEXATION AND REZONING: 4060 E. UNION GROVE CIRCLE

CITIZEN COMMENTS

ANNOUNCEMENTS

ADJOURNMENT



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PLANNING COMMISSION

Kim Skriba, Vice Chair

Sandy Wilson, Secretary

Carolyn Wade

Kevin Camon

Bo Bland

MINUTES

OCTOBER 20, 2021 @ 6:00 pm

MEMBERS PRESENT

Kim Skriba, Carolyn Wade, Sandy Wilson, Kevin Camon

Staff: Alex Mitchem

CALL TO ORDER

6:00 PM

OLD BUSINESS

1. APPROVAL OF MINUTES FROM September 15, 2021.

PC ACTION: APPROVED

WADE: YES (MOTION)

WILSON: YES (SECOND)

CAMON: YES

BO BLAND: ABSENT

NEW BUSINESS

2. RZ21-006: REZONING FROM AG TO RM-8; TAX PARCELS AU11 031B & AU11 148; 57.5 ACRES; 100 LYLE ROAD; PROPOSED TOWNHOME SUBDIVISION CONSISTING OF 399 LOTS; OWNER – DONNA EVANS; APPLICANT- CORRIDOR DEVELOPMENT INC. C/O ALLIANCE ENGINEERING & PLANNING.

Alex Mitchem presented the case.

Mitch Peavy, 6095 Atlanta Hwy, Flowery Branch: presented demographics of a similar project from Rocklyn Homes. Majority of residents are young professionals. Stated that 3 out of 10 residents have children. These would be good size homes and would be taken care of by the HOA. The site is not in the middle of nowhere, it is about to be in the middle of somewhere with Auburn's growth. Requested minor changes to conditions regarding brick facades of rear entry townhomes. Requested conditions to be modified to construct a wooden privacy fence around detention pond. Requested modifications to conditions to allow for a graded replanted 50 ft. buffer. Proposed that they pay for upgrades to Lyle Road from the project site to Autry Road.

Proposed to take the curve out our Lyle Road and add a stop sign.

The board asked several questions for clarification.

Beth Lyle, David Lyle, and Jill Lyle: Spoke on the history of the property. Concerned about the number of townhomes, road safety, lack of right-of-way, traffic. Their opposition of the project was based on the lack of road infrastructure. Referenced the city's future land use map to show the board that the future land use is designated as single family residential. Stated that the project is not appropriate to surrounding agricultural and single-family residential properties. Recommended the board deny the request.

Jeff Evans: Spoke in favor of selling his family's property citing changes in the area and sewer expansion.

PC ACTION: DENIAL

WADE: YES (MOTION)

WILSON: YES (SECOND)

CAMON: YES

BO BLAND: ABSENT

**CITIZEN COMMENTS
ANNOUNCEMENTS
ADJOURNMENT**

PC ACTION: ADJOURNED

WADE: YES (MOTION)

WILSON: YES (SECOND)

CAMON: YES

BO BLAND: ABSENT

6:30 PM

Kim Skriba, Vice Chair: _____ Date: _____

Sandy Wilson, Secretary: _____ Date: _____

**STAFF REPORT
DOWNTOWN OVERLAY DISTRICT REVIEW**

**CASE NO: OAR21-001
PROPERTY: 1376 3RD AVE**

APPLICANT: JUST CONSTRUCTION LLC	PROPERTY OWNER: KABIR NURANI
2325 FORTUNE DR, DACULA, GA 30019	1376 3 RD AVE, AUBURN, GA 30011
PHONE: 806-729-8476	PHONE: 404-936-7860
EMAIL: JUSTCONSTRUCTIONLLC.0@GMAIL.COM	EMAIL: KENNYNURANI@YAHOO.COM

Project Summary:

Owner/Applicant has requested interior and exterior modifications to existing building for a proposed grocery store. Plans submitted for exterior modifications are subject to review by the Planning Commission. Interior modifications have been reviewed and approved by the Fire Marshal and City Building Inspector.

Applicant proposes to add a portico/front porch feature to the front of the building. The porch addition consists of wood construction with traditional roofing. The existing bay doors will be removed, and the building will be closed in to allow for one front door that will serve as the main customer entrance. There are 6 new windows proposed on the front façade. Decorative raised planters are proposed along the base of the posts that support the front porch.

The rear and side facades will remain relatively unchanged. An additional storage space and walk-in cooler is proposed for the rear of the building that will be constructed on the existing loading dock.

According to the rendering that was submitted, horizontal gray siding and traditional roofing shingles are proposed.

According to the site plan, parking spaces and handicap spaces are proposed along the front of the building. A retaining wall may be required to accommodate parking areas. Additional spaces are shown along the 3rd Ave frontage.

*** Where the Commission determines that said plans do not comply with the requirements of this chapter, then the Commission shall notify the applicant in writing stating the manner in which said applicant fails to comply with such requirements. Any appeal of the Planning Commission's decision in this regard shall be to the Mayor and City Council.***

Development Standards:

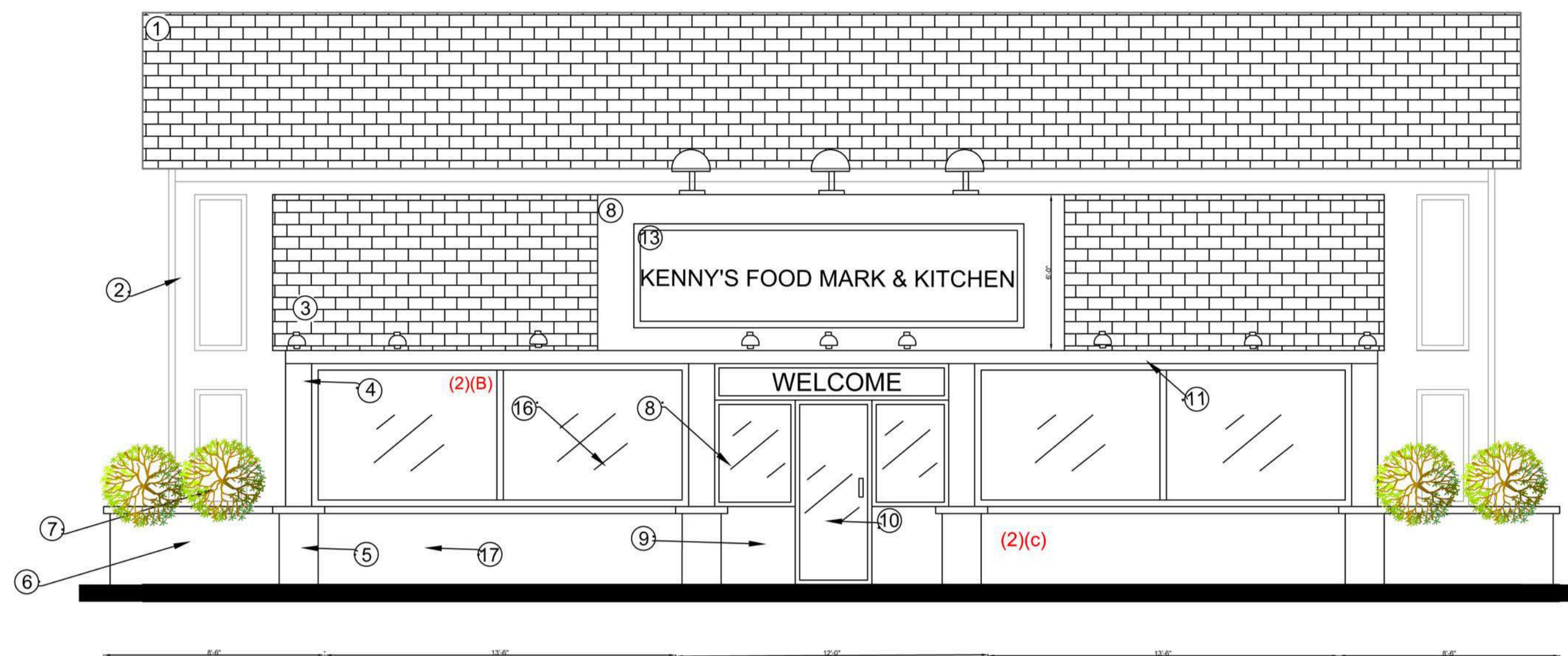
Code Section	Required	Meets Requirement?
17.91.050(1)	One entrance that faces the street	Yes
(2)(a) Façade Design	Front, side, and rear façade style shall be in accordance with Victorian, Arts and Crafts, or Art Deco.	Yes. Adding architectural elements to existing building may meet the intent of the district.
(2)(b)	Minimum of 75% of street-facing façade must be comprised of clear windows that allow views of indoor space or product display areas.	No
(2)(c)	Use of bare metal, aluminum siding, metal panels, plastic, and mirrored glass shall be prohibited.	No. Existing building consists of aluminum metal siding and roofing.
(2)(e)	Exterior colors shall be compatible with the colors on adjacent buildings. Proposed colors shall be specified on the site plan. Colors must be in accordance with the preset palette of accepted colors for the district.	Yes. Architectural renderings submitted indicate the building would be a gray color.
(3)(a) Side or Rear Façade Design	Materials and features similar to those present on the front of the building shall be used on the side or rear façade.	Yes. Rear and side facades will remain unchanged.
(3)(b)	Dumpster and service areas shall be completely screen with landscaping, a fence, a wall, or a combination thereof.	Yes. Site plan shows fence enclosure.
(3)(c)	Open areas shall be landscaped. Provide foundation plantings adjacent to the building.	No. No landscape plans were submitted.

(3)(d)	Sidewalks and parking areas shall be properly lighted to facilitate safe movement of pedestrians and vehicles.	No. No lighting plans were submitted.
(4) Awnings	n/a	A covered porch is proposed rather than awnings.
(5)	Exterior lighting must be placed and shielded so as to direct light onto the site and away from adjoining properties. Floodlights, wall pack units, other types of unshielded lights, and lights where the lens is visible outside of the light fixture shall be prohibited, except where historical-style lighting is used that is compatible with historic-style street lamps installed by the City. Neon lighting as accent lighting is prohibited.	No. No lighting details or plans were submitted
(6)(a) Parking	No new parking lot shall be created nor an existing parking lot expanded in front of a building unless the Planning Commission determines that parking in front of the building would be acceptable for either the following reasons. 1) front yard parking is required to maintain the continuity of front building setbacks in the block while making efficient use of the site, or 2) required for traffic safety and to minimize driveway curb cuts where the new parking lot is proposed to connect with one or more parking lots on adjoining parcels.	No. However, due to septic limitations, traffic and pedestrian safety, and proposed use, front yard parking may be appropriate.
(7)(a) Landscaping	Provide street trees at 25' increments.	No. No tree plan was submitted.

(7)(b)	Landscape Plan shall be submitted for review and approval.	No. No landscape plan was submitted.
(8) Setbacks	Max front yard setback shall be 10'. Side yard setback may be zero (0) where buildings meet fire codes. Minimum rear setback shall be 5'.	No. Existing building does not meet current requirements for front setbacks. However, existing building setbacks may be appropriate on the subject site.
(9) Building Height	Shall not exceed 45' or three stories.	Yes
17.91.060 Signage	Roof top signs are prohibited	No. Renderings show a roof top mounted sign. No other sign details were submitted. Applicant must submit a sign permit application for review by the Planning Commission.

Community Development Department Recommendation: **Approval w/ conditions.**

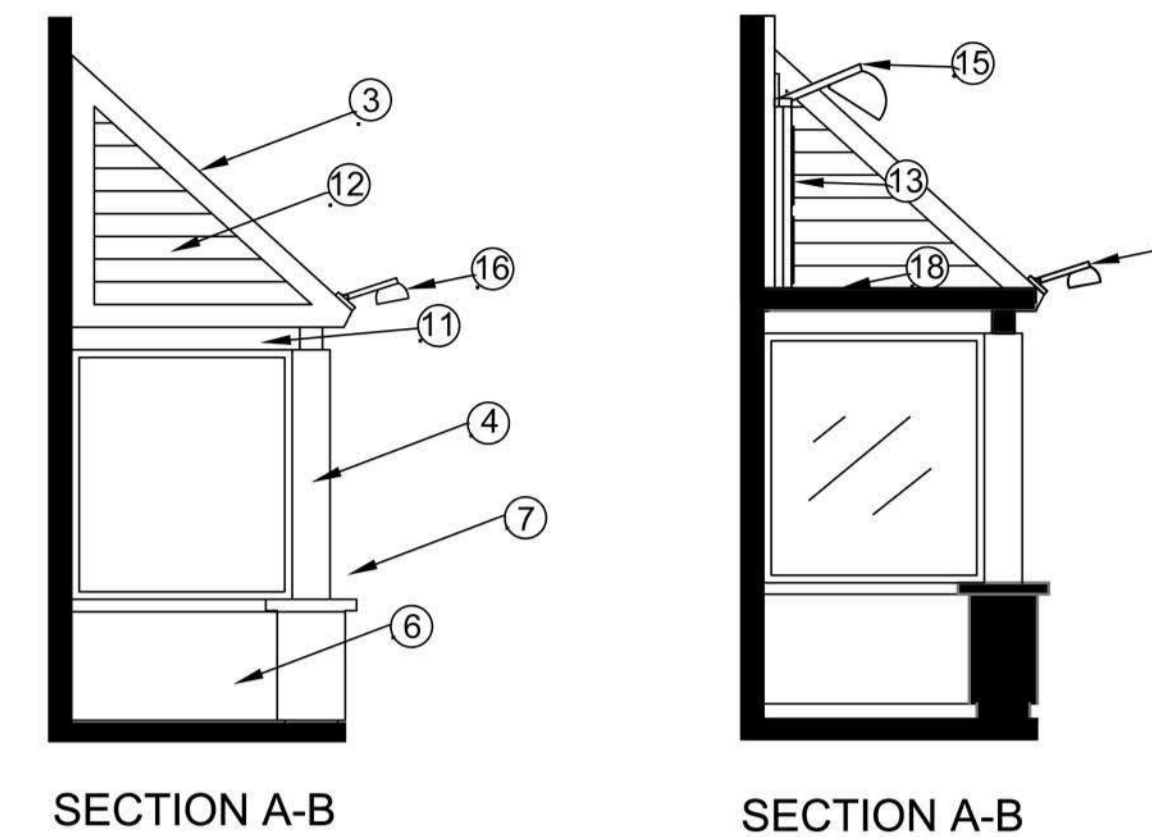
1. Site plan and building design shall generally conform to the plans for "1376 3RD AVE - KENNY'S GROCERY" dated 10/06/2021.
2. Site improvements shall meet all applicable Downtown Overlay District and Development Regulations of the City of Auburn.



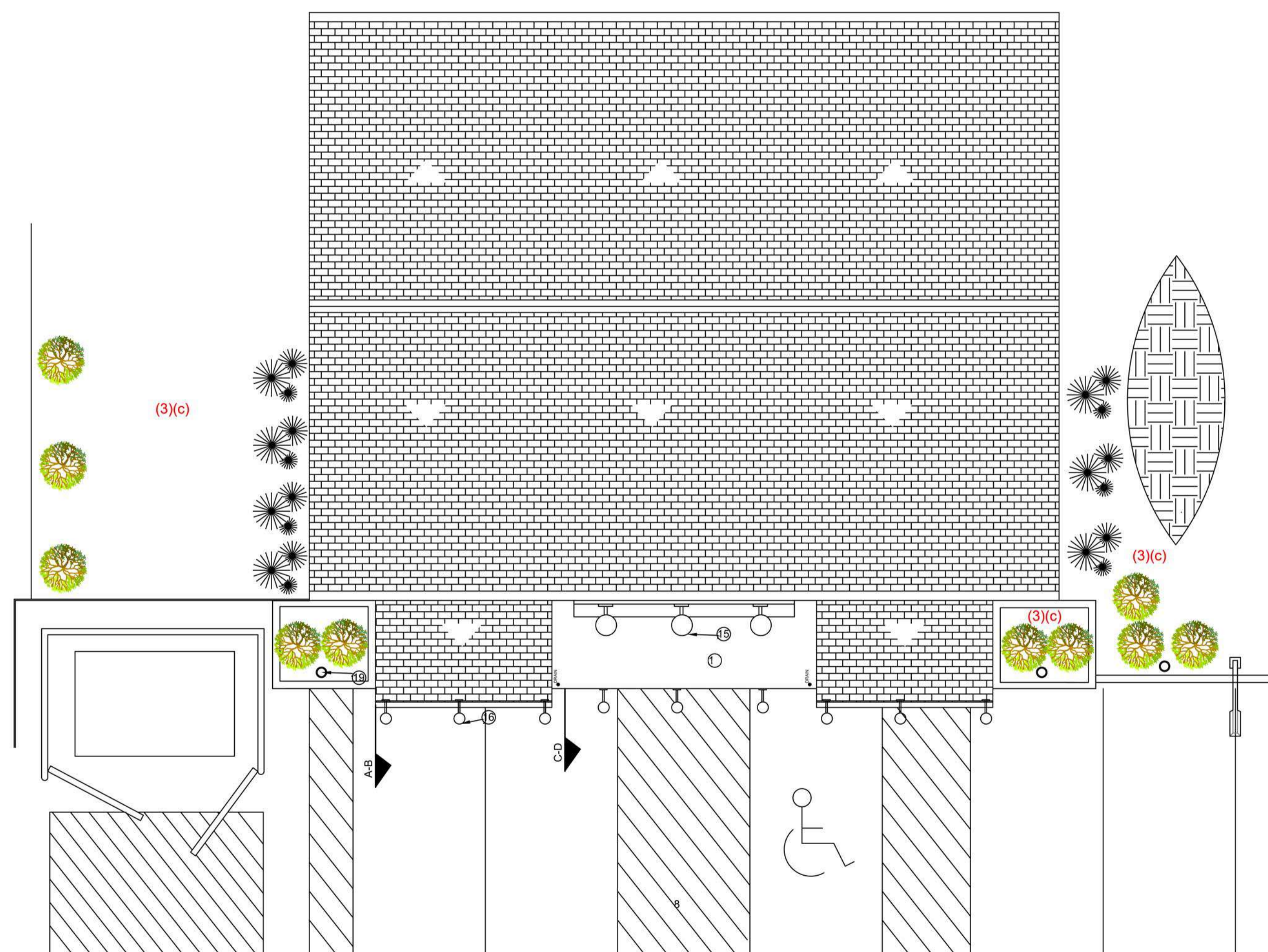
1 FRONT FACADE PROPOSAL PLAN
A1.01 SCALE 1:16

DESIGN FACADE FOLLOWING THE OTHERS BUILDINGS AROUND, ARTS & CRAFT STYLE W/REMAIN THE EXIST. MATERIALS.

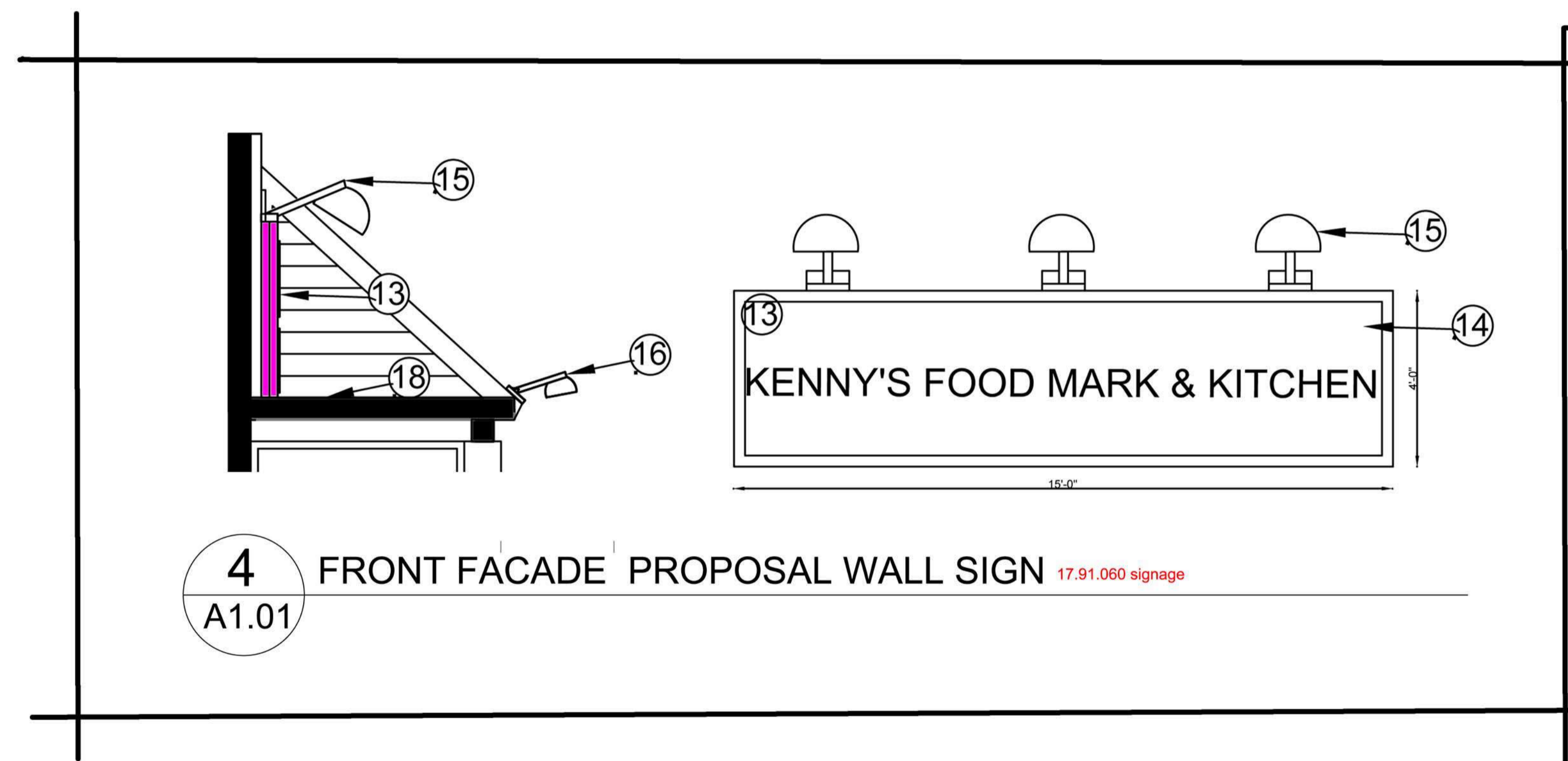
SYM	DESCRIPTION		
1	EXISTING ROOF TO REMAIN	HC-181	HERITAGE RED
2	EXISTING EXTERIAL WALL TO REMAIN	HC-92	WHELING NEUTRAL
3	NEW METAL ROOF CANOPY	HC-181	HERITAGE RED
4	10'X10' WOOD POST	NAT- SPAIN MIHOGANY COLOR	
5	STUCCO BASE	HC-41	RICHMOND GOLD
6	STUCCO/ OMI PLANTERS	HC-41	RICHMOND GOLD
7	PLANTS: LIRIOPE & DAYLILY SP, EVERGREEN ATALEA NO MORE 36" HIGH AUTOMATIC IRRIGATION SYSTEM		
8	GLASS WINDOW 3'X4'	CLEAR GLASS	
9	STUCCO OVER EXIST WALL	HC-41	RICHMOND GOLD
10	GLASS FRONT DOOR		
11	NEW 4'X4' WOOD OUTRIDDERS	NAT. STAIN MAHOGANY	
12	NEW WOOD SIDING	NATURAL NO STAINS	
13	FRONT SIGN	BASE WOOD & RESIN WINAME & ADDRESS	
14	BASE WOOD		
15	FRONT LIGHT		
16	WINDOW GLASS 6'X5'	CLEAR GLASS	
17	STUCCO BASE	HC-41	RICHMOND GOLD
18	BOX CEILING		
19	PLANTER FLOOR LIGHT		



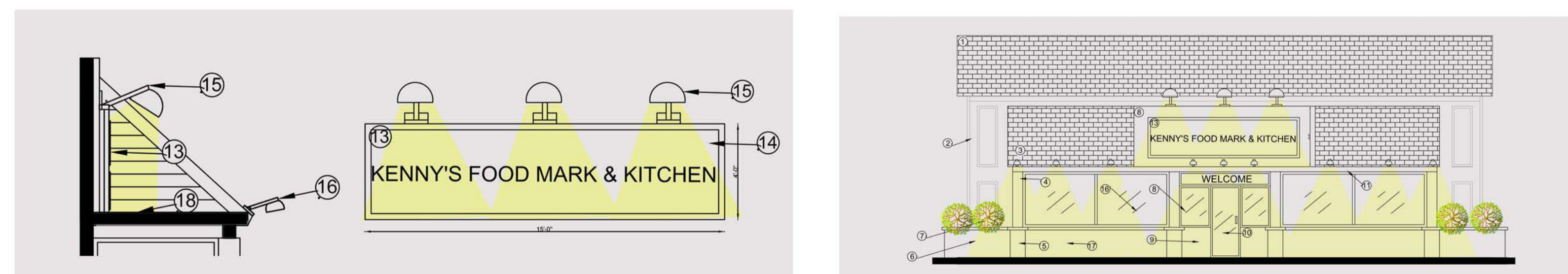
3 FRONT FACADE PROPOSAL PLAN
A1.01 SCALE 1:120



2 TOP VIEW ROFFING PROPOSAL PLAN
A1.01 SCALE 1:30



4 FRONT FACADE PROPOSAL WALL SIGN 17.91.060 signage
A1.01



5 FRONT FACADE PROPOSAL LIGHT PLAN (5) (3)(d)
A1.01

PROPOSAL DESIGN

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

PROPERTY INFORMATION:
1376 3RD AVENUE AUBURN GA 30011

GENERAL CONTRACTOR:


JUST CONSTRUCTION LLC
 FELIPE ROMAN
 10475 MEDLOCK BRIDGE RD
 JOHNS CREEK, GA
 JUSTCONSTRUCTIONLLC.0@GMAIL.COM
 806 729 8476

DRAWINGS PROVIDED BY:

DATE:
10/06/2021
SCALE:
SHEET:
A1.01 24"X36"

PROPOSAL DESIGN

REVISION TABLE			
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1376 3RD AVENUE AUBURN GA 30011

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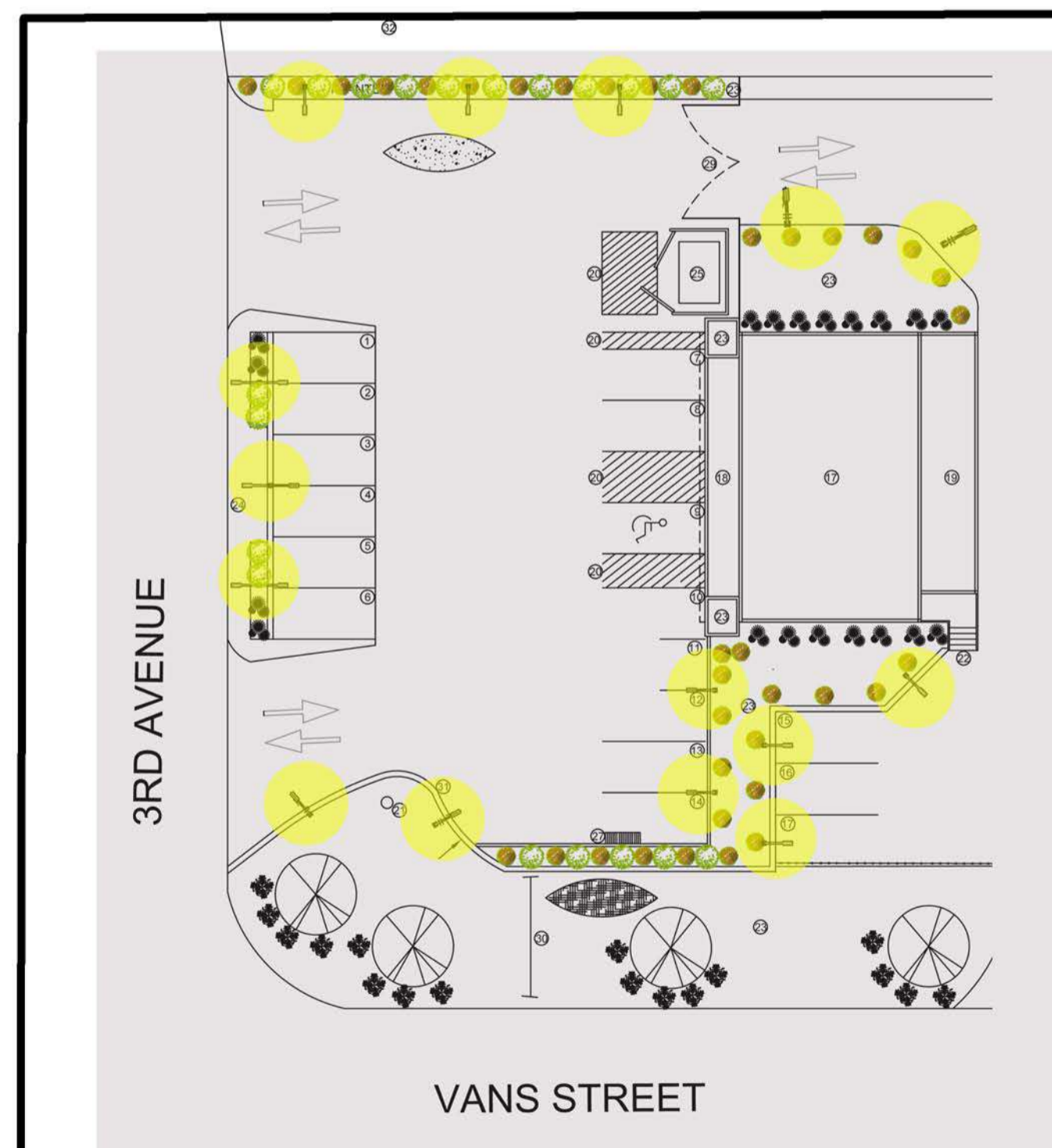


LOCATION

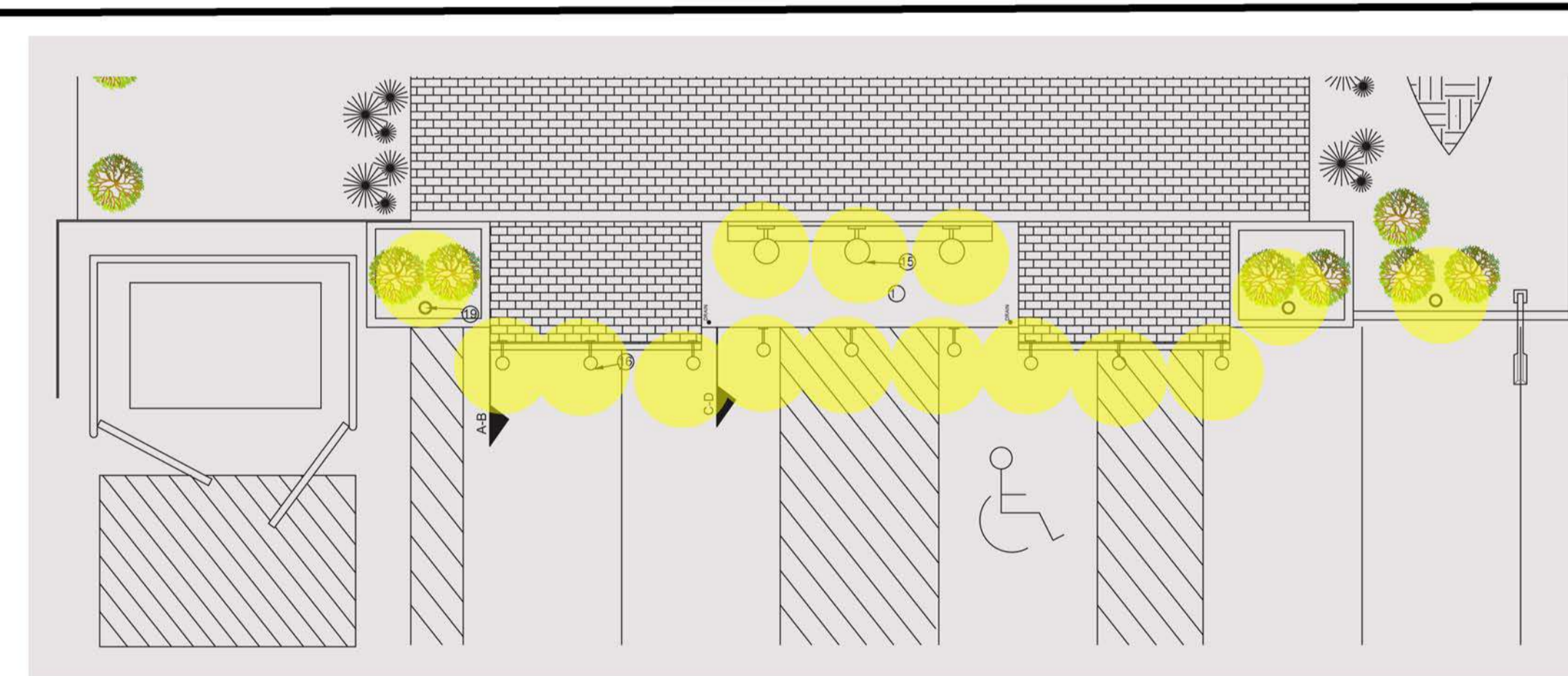
1 LANDSCAPE PROPOSAL PLAN & EXTERIOR LIGHTING PROPOSAL PLAN (7)(b) (5)
A1.01 SCALE 1:100

DISIGN FACADE FOLLOWING THE OTHERS BUILDINGS AROUND, ARTS & CRAFT STYLE W/REMAIN THE EXIST. MATERIALS.

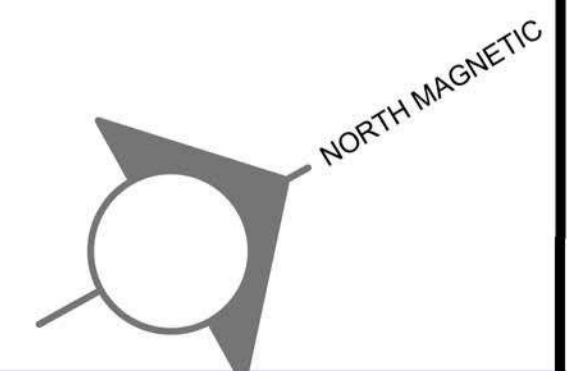
SYM	DESCRIPTION
1-16	PARKING LOT, NUMBER 9 (HANDICAP)
17	EXISTING BUILDING
18	COVERED PORCH
19	NEW STORAGE ADITION
20	RESTRICTION ZONE
21	EXISTING RAIN DRAIN
22	NEW STAIR
23	YARD
24	NEW CONCRETE WALK AWAY
25	DUMPSTER ENCLOSE
26	PLANTER
27	DRAIN GUARD
28	EXIST CHAIN LINK FENCE
29	LATERAL & FRONT ACCESS
30	RESTRICTION AREA
31	RETAINING WALL CONCRETE BLOCK
32	PRIVATE PROPERTY
PLANTS: LIRIOPE	
PLANTS: DAYLILY SP	
PLANTS: EVERGREEN ATALEA	
PROPOSAL TREE	
CONCRETE	
GRASSES	
PERENNIAL FLOWERS	
LAMP POST	
DOUBLE LAMP POST	



3 TOP VIEW PROPOSAL EXTERIOR LIGHTING PLAN (5)
A1.01



2 FRONT FACADE PROPOSAL EXTERIOR LIGHTING PLAN
A1.01 SCALE 1:100



DRAWINGS PROVIDED BY:

DATE:	10/06/2021
SCALE:	
SHEET:	A1.01 24"X36"

**STAFF REPORT
DOWNTOWN OVERLAY DISTRICT REVIEW**

**CASE NO: OAR21-002
PROPERTY: City Market Convenience Store
1334 Atlanta Hwy, Auburn, GA 30011**

APPLICANT: Mumtaz Paroo	PROPERTY OWNER: EON Petroleum Corp.
1334 Atlanta Hwy, Auburn, GA 30011	1000 Peachtree Industrial Blvd #6187
PHONE: 404-234-8256	PHONE: 404-234-8256
EMAIL: mumtazparoo@me.com	EMAIL: eonpetroleumcorp@icloud.com

Project Summary:

Owner/Applicant has requested interior and exterior modifications to existing convenience store. Plans submitted for exterior modifications are subject to review by the Planning Commission. Interior modifications have been reviewed and approved by the Fire Marshal and City Building Inspector.

Applicant proposes to construct additional storage space and walk-in cooler to the rear of the building.

According to the rendering that was submitted, insulated metal cooler panels with 8" CMU stem wall foundation. An 8' privacy fence will screen the new cooler from HWY 29.

*** Where the Commission determines that said plans do not comply with the requirements of this chapter, then the Commission shall notify the applicant in writing stating the manner in which said applicant fails to comply with such requirements. Any appeal of the Planning Commission's decision in this regard shall be to the Mayor and City Council.***

Development Standards:

Code Section	Required	Meets Requirement?
17.91.050(1)	One entrance that faces the street	Yes
(2)(a) Façade Design	Front, side, and rear façade style shall be in accordance with Victorian, Arts and Crafts, or Art Deco.	Yes. Adding architectural elements to existing building may meet the intent of the district.
(2)(b)	Minimum of 75% of street-facing façade must be comprised of clear windows that allow views of indoor space or product display areas.	N/A

(2)(c)	Use of bare metal, aluminum siding, metal panels, plastic, and mirrored glass shall be prohibited.	No.
(2)(e)	Exterior colors shall be compatible with the colors on adjacent buildings. Proposed colors shall be specified on the site plan. Colors must be in accordance with the preset palette of accepted colors for the district.	Yes. Architectural renderings submitted indicate the building would match existing building color.
(3)(a) Side or Rear Façade Design	Materials and features similar to those present on the front of the building shall be used on the side or rear façade.	Yes. Architectural renderings submitted indicate the building would match existing building color.
(3)(b)	Dumpster and service areas shall be completely screen with landscaping, a fence, a wall, or a combination thereof.	N/A
(3)(c)	Open areas shall be landscaped. Provide foundation plantings adjacent to the building.	N/A
(3)(d)	Sidewalks and parking areas shall be properly lighted to facilitate safe movement of pedestrians and vehicles.	N/A
(4) Awnings	n/a	A covered porch shall remain.

(5)	<p>Exterior lighting must be placed and shielded so as to direct light onto the site and away from adjoining properties. Floodlights, wall pack units, other types of unshielded lights, and lights where the lens is visible outside of the light fixture shall be prohibited, except where historical-style lighting is used that is compatible with historic-style street lamps installed by the City. Neon lighting as accent lighting is prohibited.</p>	N/A
(6)(a) Parking	<p>No new parking lot shall be created nor an existing parking lot expanded in front of a building unless the Planning Commission determines that parking in front of the building would be acceptable for either the following reasons. 1) front yard parking is required to maintain the continuity of front building setbacks in the block while making efficient use of the site, or 2) required for traffic safety and to minimize driveway curb cuts where the new parking lot is proposed to connect with one or more parking lots on adjoining parcels.</p>	N/A
(7)(a) Landscaping	<p>Provide street trees at 25' increments.</p>	N/A
(7)(b)	<p>Landscape Plan shall be submitted for review and approval.</p>	N/A

(8) Setbacks	Max front yard setback shall be 10'. Side yard setback may be zero (0) where buildings meet fire codes. Minimum rear setback shall be 5'.	Existing building meets current requirements for front setbacks.
(9) Building Height	Shall not exceed 45' or three stories.	N/A
17.91.060 Signage	Roof top signs are prohibited	N/A

Community Development Department Recommendation: **Approval w/ conditions.**

1. Site plan and building design shall generally conform to the site plan titled "CITY MARKET CONVENIENCE STORE" dated /20/2021.
2. Site improvements shall meet all applicable Downtown Overlay District and Development Regulations of the City of Auburn.

STAFF REPORT
4060 E. UNION GROVE CR TRACT
ANNEXATION AND REZONING

CASE NO: RZ2100007 and RZ2100008

APPLICANT: LHA HOMES, LLC

OWNER(s): STONE MANOR HOLDINGS, LLC

CONTACT: BRYAN ASHWORTH, BDASHWORTH@BELLSOUTH.NET, 404-925-2958

PRESENT ZONING: BARROW AG AGRICULTURAL DISTRICT AND GWINNETT – RA200
RESIDENTIAL AGRICULTURAL

REQUESTED ZONING: CITY OF AUBURN – R100 – SINGLE FAMILY RESIDENTIAL

TAX PARCELS: BARROW, XX007 001 & GWINNETT 2004 060; 4060 E. UNION GROVE CIRCLE

ACREAGE: BARROW 0.04 +/- ACRES AND GWINNETT 4.04 +/- ACRES

PROPOSED DEVELOPMENT: 5 SINGLE-FAMILY RESIDENTIAL LOTS.

DENSITY: 1.24 UNITS PER ACRE +/-

PROJECT DATA:

Applicant is requesting annexation and rezoning for the purpose of constructing a 5-lot single-family residential subdivision. The request includes five properties fronting along E. Union Grove Circle. Heated square footage from 1800 SF. Development is proposed to be served by septic tanks and City of Auburn water. Stormwater management area is not required. The parent parcel is split between two counties with 0.04 +/- acres in Barrow County zoned AG Agricultural and 4.04 +/- acres in Gwinnett County zoned RA200. The proposed R-100 zoning calls for a max density of 2.3 du/acre, 15,000 SF minimum lot size, and 100 ft. minimum lot width.

SURROUNDING ZONING:

North: Gwinnett County AG

South: Barrow County AR and Gwinnett County C2

East: Gwinnett County AG, RA200, and R-100

West: Barrow County R-1 and City of Auburn R-100

WETLANDS/STREAMS/FLOODPLAINS:

There are no streams/tributaries nor floodplains located on the site. According to the National Wetlands Mapper, there are no wetlands that exist on the site.

TRANSPORTATION:

Union Grove Circle and Bailey Road are minor collector and county-maintained roads. Coordinate with the City Auburn, Barrow County, and Gwinnett County for approval and locations of driveways.

STORMWATER REVIEW:

Stormwater facilities must comply with the current City of Auburn codes and ordinances and the latest edition of the Georgia Stormwater Management Manual.

WATER/UTILITIES:

Water records show that the properties are in City of Auburn’s water service area.

Water records show that the subject property is in the vicinity of a 6” water main located along Union Grove Circle. Demands imposed by the proposed development may require upsizing or extensions of existing water mains to meet City of Auburn standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the developer. It is the responsibility of the developer’s engineer to confirm pressure and volumes are available for the development.

BARROW COUNTY FIRE:

No comments received at this time.

STANDARDS GOVERNING THE EXERCISE OF ZONING:

SUITABILITY OF USE

The proposed rezoning may be suitable due to the residential character of the area.

ADVERSE IMPACTS

There are no adverse impacts anticipated on adjacent properties.

IMPACT ON PUBLIC FACILITIES

No significant increase in traffic, utilities usage, stormwater runoff and the number of school-aged children are anticipated from this request.

CONFORMITY WITH POLICIES

The development may be compatible with the Comprehensive Plan in providing a diversity of housing types.

CONDITIONS AFFECTING ZONING

Development may be appropriate with staff recommended conditions.

